

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, SENIOR PLANNER *SB*
(480) 503-6625, STPEHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: MARCH 3, 2021

SUBJECT: DR20-187, SANTAN VILLAGE PARCEL A – SHOPS A

STRATEGIC INITIATIVE: Exceptional Built Environment

Approve a master site plan for additional restaurant and retail users in the San Tan Village area.

REQUEST

DR20-187, Santan Village Parcel A – Shops A: Master site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.9 acres, generally located north of the northwest corner of Santan Village Parkway and Williams Field Roads and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Butler Design Group
 Name: David Reuterman
 Address: 5017 E. Washington St. #107
 Phoenix, AZ 85034
 Phone: 602-957-1800
 Email: davidr@butlerdesigngroup.com

OWNER

Company: Santan Development Group Inc.
 Name: Ty LeSueur
 Address: 3850 E. Baseline Road Ste. 114
 Mesa, AZ 85206
 Phone: 480-424-3424
 Email: ty@lesueurinvestments.com

BACKGROUND/DISCUSSION**History**

Date	Description
<i>October 8, 1996</i>	Town Council adopted Ordinance No. 998 (A96-8), annexing 290 acres, which included the subject site.
<i>January 25, 1999</i>	Town Council approved Z98-27 by adopting Ordinance No. 1142, rezoning approximately 523 acres from R-43 (Maricopa County Rural Residential) to PAD (Planned Area Development) with the underlying zoning designation of C-2 (General Commercial).
<i>November 16, 1999</i>	Town Council approved Ordinance No. 1230 by adding and rezoning 63 acres from R-43 (Maricopa County Rural) to C-2 with a PAD; adding new conditions; amending the development plan of Crossroads Center Planned Area Development.
<i>August 13, 2012</i>	Design Review Board approved DR05-139-A, the addition of Parcels A, C, D and E, the addition of 2 new signs and minor modifications to 2 signs for Santan Village Master Sign Plan Amendment.
<i>March 30, 2015</i>	Design Review Board approved case DR15-25 for the Living Spaces, a home furnishing retail store (north of the subject site).
<i>March 27, 2017</i>	DA16-49 Santan Village Parkway North Arterial ROW Landscape was administratively approved for portions of Santan Village Parkway and Williams Field Road.
<i>June 7, 2017</i>	Planning Commission approved cases DR17-1010 and DR17-1015 for Firebirds, a restaurant (southwest of the subject site).
<i>January 8, 2020</i>	Planning Commission approved DR19-136 Flower Child, two restaurants (south of the subject site).

Overview

The subject site is located north of the northwest corner of Santan Village Parkway and Williams Field Roads, known as "Parcel A" as identified within the approved Gilbert Crossroads PAD under Ordinance No. 1230. Parcel A is 51.66 acres with existing development on 12.24 acres (Living Spaces, Firebirds, Flowerchild and North Italia). This proposal is for a master site plan for three new buildings with associated parking and drive aisles to continue the build out of Parcel A.

The master site plan and phase 1 will include one building (Shops A) and two pad sites (P4 and P5). P4 and P5 will come forward with future design review cases. Access is provided along Santan Village Parkway, a new full motion access point will be included with this master site plan along the northern portion of the site. Existing access is provided from the Living Space entrance and south of the site connecting to internal drive aisles and Williams Field Road. The northwest section of Parcel A is vacant and main internal drive aisles will provide access in the future.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial	Regional Commercial (RC) PAD	Vacant land (Parcel A)
South	Regional Commercial	Regional Commercial (RC) PAD	Flowerchild/North Italia (under construction)
East	Regional Commercial	Regional Commercial (RC) PAD	Santan Village Parkway then San Tan Regional Mall
West	Regional Commercial	Regional Commercial (RC) PAD	Living Spaces and vacant land
Site	Regional Commercial	Regional Commercial (RC) PAD	Vacant

Project Data Table

Site Development Regulations	Required per LDC and Ordinance No. 1230	Proposed
Maximum Building Height (ft.)/(Stories)	40' retail and services	25' - 6"
Minimum Building Setback (ft.)		
Front	20'	25'
Side (Non-residential)	0' internal to site*	0'
Rear (Non-residential)	0' internal to site*	0'
Minimum Required Perimeter Landscape Area (ft.)		
Front	20'	20'
Side (Non-residential)	0'	0'
Rear (Non-residential)	0'	0'
Landscaping (% of net lot area)	15%	27.6%
Off-Street Parking and Loading	1000/4 per Ord. No. 1230 101 spaces required	171 spaces provided

DISCUSSION

The project currently completed first review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

The site is part of Crossroads Center PAD, a 586 acre mixed use project located south of Ray Road, north and west of the 202 Freeway and east of the Maple Drive alignment, commonly referred to as San Tan Village. The PAD has created a destination with a wide variety of commercial, employment, and multi-family uses with the center of the development being the SanTan Village Regional Shopping Mall. The Crossroads Center PAD has specific development standards, including some standards under the ULDC, and character design that developments have followed over the past 20 years.

Site

The master site plan consists of three pad sites along the frontage of Santan Village Parkway. The pad sites will stem off of the existing main drive aisles of Living Spaces and each pad site will have associated parking. Overall the parking is shared within the Crossroads PAD. The first phase of the master site plan will include Shops A located south of the main driveway entrance to Living Spaces. The landscape along Santan Village Parkway in addition to the parking lots will be part of Phase 1. The two future buildings will remain as pad sites and foundation landscaping will be incorporated with future design review cases. P4 is expected to be a single restaurant user and P5 is expected to be a single drive-through restaurant user. *1st review comments include providing an adequate pre-planned circulation network for the future buildout of Parcel A to the north and aligning drive aisles to avoid traffic conflicts, specifically with the P5 drive-through user.*

Landscape

The site is part of the Santan Village Parkway Right-of-Way landscape improvements design approved under DA16-49 and included the right-of-way street frontage along Williams Field Road. The project is matching the design of the right-of-way landscape improvements and the landscape within the existing development of Parcel A. Shops A will be providing foundation landscaping around the building. Heritage Live Oak and Desert Museum trees are utilized in the parking lot landscape islands to match the other developments in Parcel A. Landscape throughout the parking lots will be installed as part of phase 1; the future P4 and P5 sites will provide foundation landscape around the buildings in future design review cases. In addition to vehicular circulation, pedestrian circulation is a common element to master site plans, *1st review comments include providing an internal sidewalk circulation throughout the site and connections to future buildout of Parcel A.*

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division with underground retention proposed along the southern and eastern drive aisles.

Elevations, Floor Plan, Colors and Materials

Only one building is part of the first phase of this master site plan. Shops A is 6,660 square feet and planned for two restaurant users. Each restaurant will have an outdoor patio dining area. The one-story building is utilizing darker brown/gray EIFS with dark gray masonry and

stone veneer to articulate the building. Fiber cement wood paneling is used at one tower element and glass glazing is used at a second tower element to define the two tenant spaces. Both outdoor patio areas will have permanent metal shade structures and patio railings. The colors and materials proposed are consistent with the Crossroads PAD design guidelines and incorporate similar colors and materials used within Parcel A while still providing its own identity with more modern elements. *1st Review comments include providing a color and materials board that will be consistently used with the future buildings that are part of this master site plan and clearly identifying design style/elements to be incorporated into the future buildings.*

Lighting

There are three lighting types proposed, parking lot, building wall mounted lighting and canopy recessed lighting. The parking lot lights are mounted at 25 feet and are consistent with the existing parking lot pole lighting within parcel A. All site lighting will be required to comply with Town codes.

Signage

The site is part of the San Tan Village Parcels A, C, D, and E Master Sign Plan. A SanTan Village gateway entry sign is planned for the north drive aisle along Santan Village Parkway. Building signage must comply with the master sign plan and can proceed through sign permitting. Administrative Design Review approval is required prior to permitting to amend the sign plan.

The applicant has requested construction document at-risk. Staff would only support cd at-risk if the applicant is able to address all 2nd review comments prior to cd submittal.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. Colors and materials for Shops A
2. Providing adequate pedestrian circulation (sidewalks) in the Master Site Plan and future build out of Parcel A

Respectfully submitted,



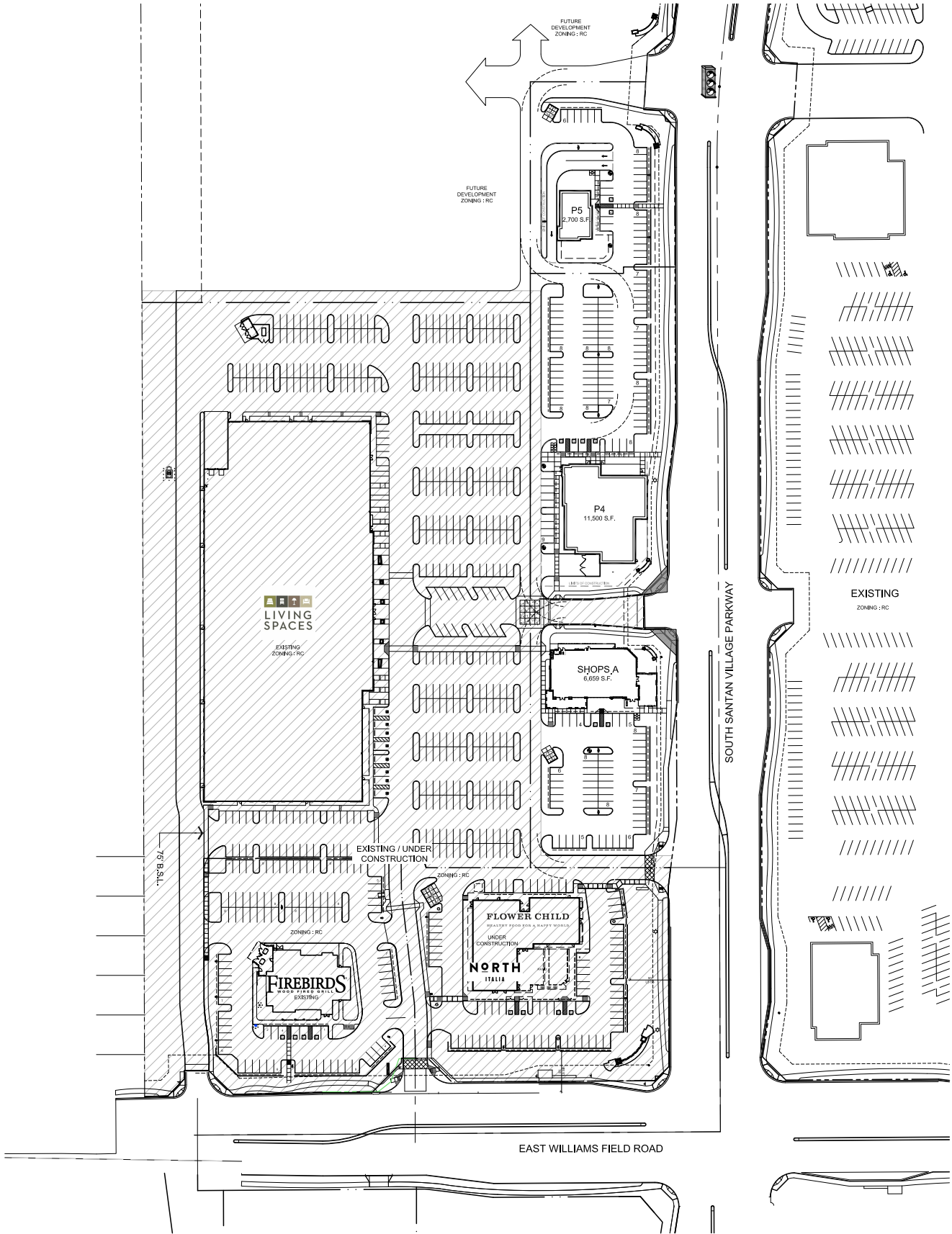
Stephanie Bubenheim
Senior Planner

Attachments and Enclosures:

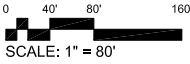
- 1) Aerial Photo

- 2) Master Site Plan
- 3) Site Plan
- 4) Landscape
- 5) Grading and Drainage
- 6) Elevations
- 7) Colors and Materials
- 8) Floor Plans
- 9) Lighting
- 10) Applicant's Narrative



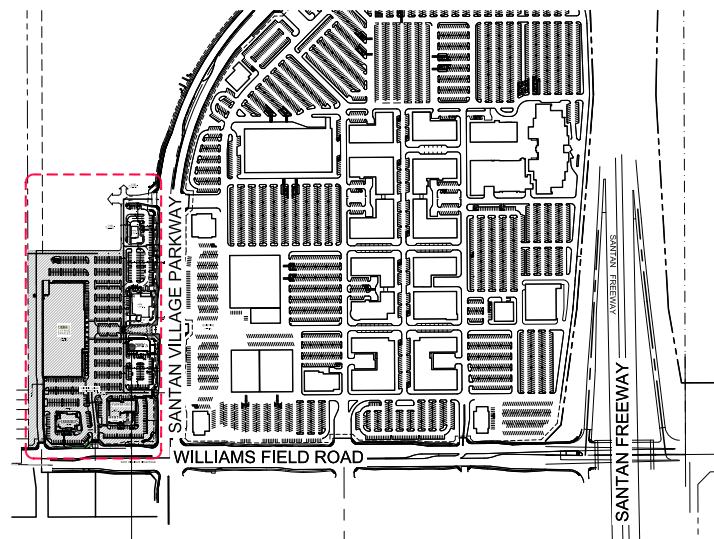


MASTER SITE PLAN



PROJECT TEAM

Developer SanTan Development Group 3850 E. Baseline Rd. Ste. 114 Mesa, Arizona 85206 Contact: Ty LeSueur Ph: (480) 424-3400 Ty@lesueurinvestments.com	Architect Butler Design Group 5017 E. Washington St. Ste 107 Phoenix, Arizona 85034 Contact: David Reuterman Ph: (602) 957-1800 davidr@butlerdesigngroup.com
Landscape Architect Laskin & Associates 67 E. Weldon Ave. Ste. 230 Phoenix, Arizona 85012 Contact: Hans Stoll Ph: (602) 840-7771 hans@laskindesign.com	Civil Engineer EPS Group, Inc 1130 M. Alma School Road Ste.120 Mesa, Arizona 85201 Contact: Eric Winters Ph: (480) 355-1559 eric.winters@epsgroupinc.com



THIS
SITE

VICINITY MAP

N.T.S.



12-15-20
11161.060-ST06

SANTAN
DEVELOPMENT
GROUP

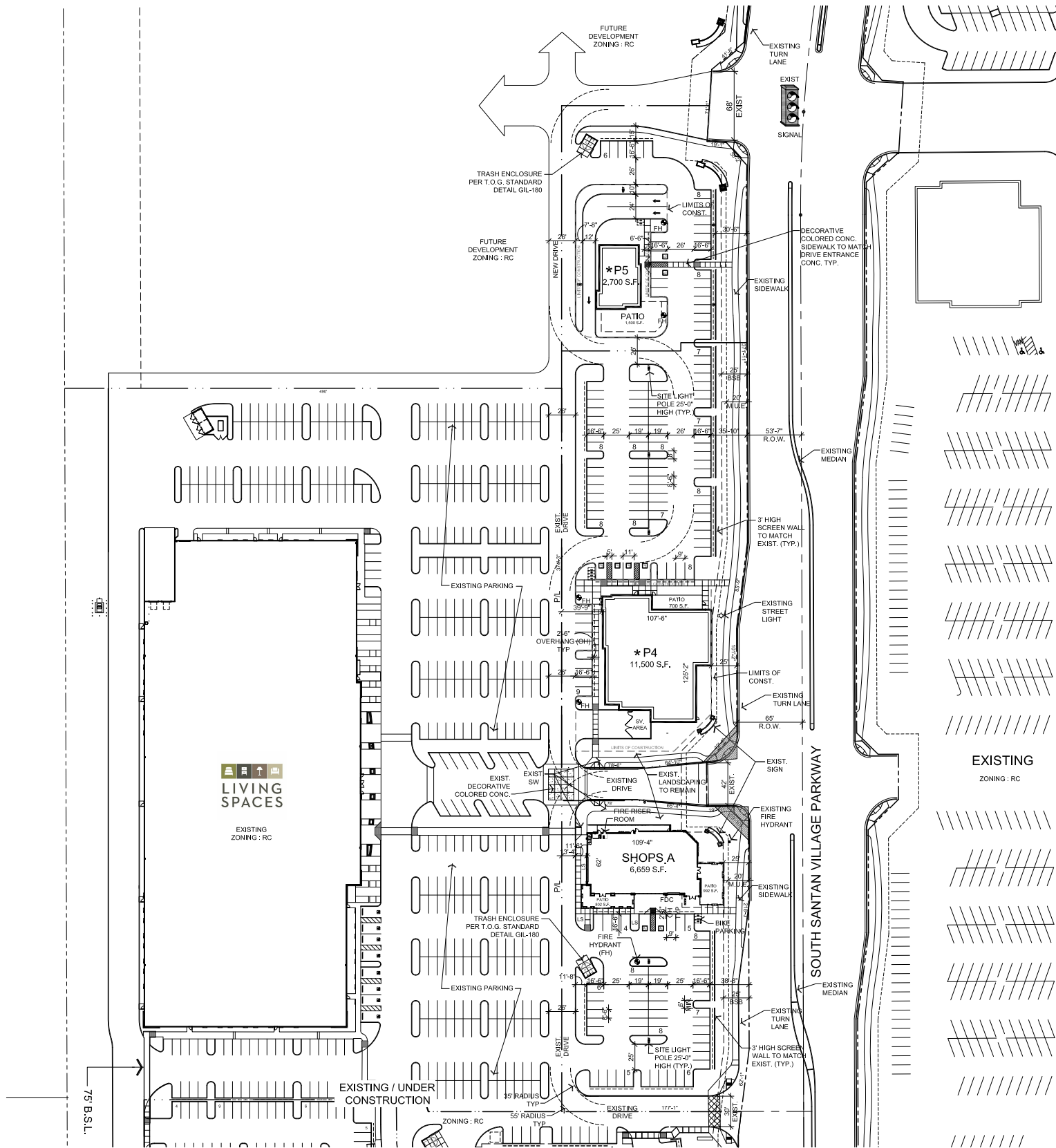
SANTAN VILLAGE North
S.W.C. Williams Field Road and San Tan Village Parkway
Gilbert, Arizona



Butler Design Group, Inc
architects & planners

TOWN OF GILBERT NOTES

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
A. FULLY RECESSING THE CABINET IN TO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET, TO THE EXTENT PERMITTED BY LAW. SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
B. ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH EITHER PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
A. BE LOCATED WITHIN LANDSCAPE AREAS OR PLANTER ISLANDS.
B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OF FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
C. BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPE AREAS ADJUSTED TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED, NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDING MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOARDSMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.



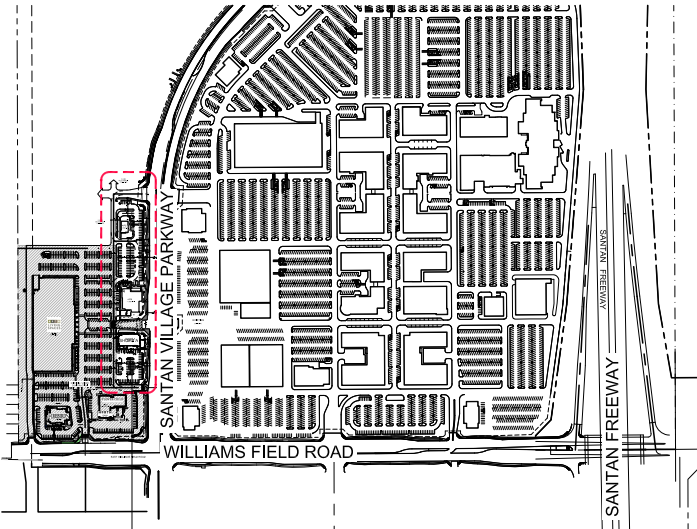
* NOTE: P4 AND P5 PROVIDED FOR MASTER SITE PLAN ONLY SIZE, LAYOUT AND LOCATION OF BUILDINGS WILL BE DETERMINED IN FUTURE DR SUBMITTAL

PROJECT DATA

Zoning:	RC
APN#:	304-41-949G, 304-41-951
Gross Site Area:	222,366 S.F. (5.1 AC.)
Net Site Area:	170,964 S.F. (3.9 AC.)
Building Area:	20,859 S.F.
Building Area % Coverage:	12.2%
Landscape Area:	47,190 S.F.
Landscape Area % Coverage:	27.6%
Parking Required (Per Crossroads PAD)	
REST. (20,859 S.F. @ 4:1,000 S.F.):	84 Spaces
Patios (4,094 S.F. @ 4:1,000 S.F.):	17 Spaces
Total Parking Required:	101 Spaces
Parking Provided:	171 Spaces
Parking Ratio (NIC Patio):	8.3 / 1,000 S.F.
ADA Parking Required:	6 Spaces
ADA Parking Provided:	8 Spaces
Bicycling Parking Required (1/10 Spaces):	18 Spaces
Bicycling Parking Provided:	18 Spaces
Proposed Building Height:	26 feet max.
Max. Allowed Building Height:	55 feet max.

PROJECT TEAM

Developer	Architect
SanTan Development Group	Butler Design Group
3850 E. Baseline Rd. Ste. 114	5017 E. Washington St. Ste 107
Mesa, Arizona 85206	Phoenix, Arizona 85034
Contact: Ty LeSueur	Contact: Clay Chiappini
Ph: (480) 424-3400	Ph: (602) 957-1800
Ty@lesueurinvestments.com	clayc@butlerdesigngroup.com
Landscape Architect	Civil Engineer
Laskin & Associates	EPS Group, Inc
67 E. Weldon Ave. Ste. 230	1130 M. Alma School Road Ste.120
Phoenix, Arizona 85012	Mesa, Arizona 85201
Ph: (602) 840-7771	Contact: Eric Winters
hans@laskindesign.com	Ph: (480) 355-1559
	eric.winters@epsgruoinc.com



THIS SITE

VICINITY MAP

N.T.S.



12-15-20
11161.060-ST06

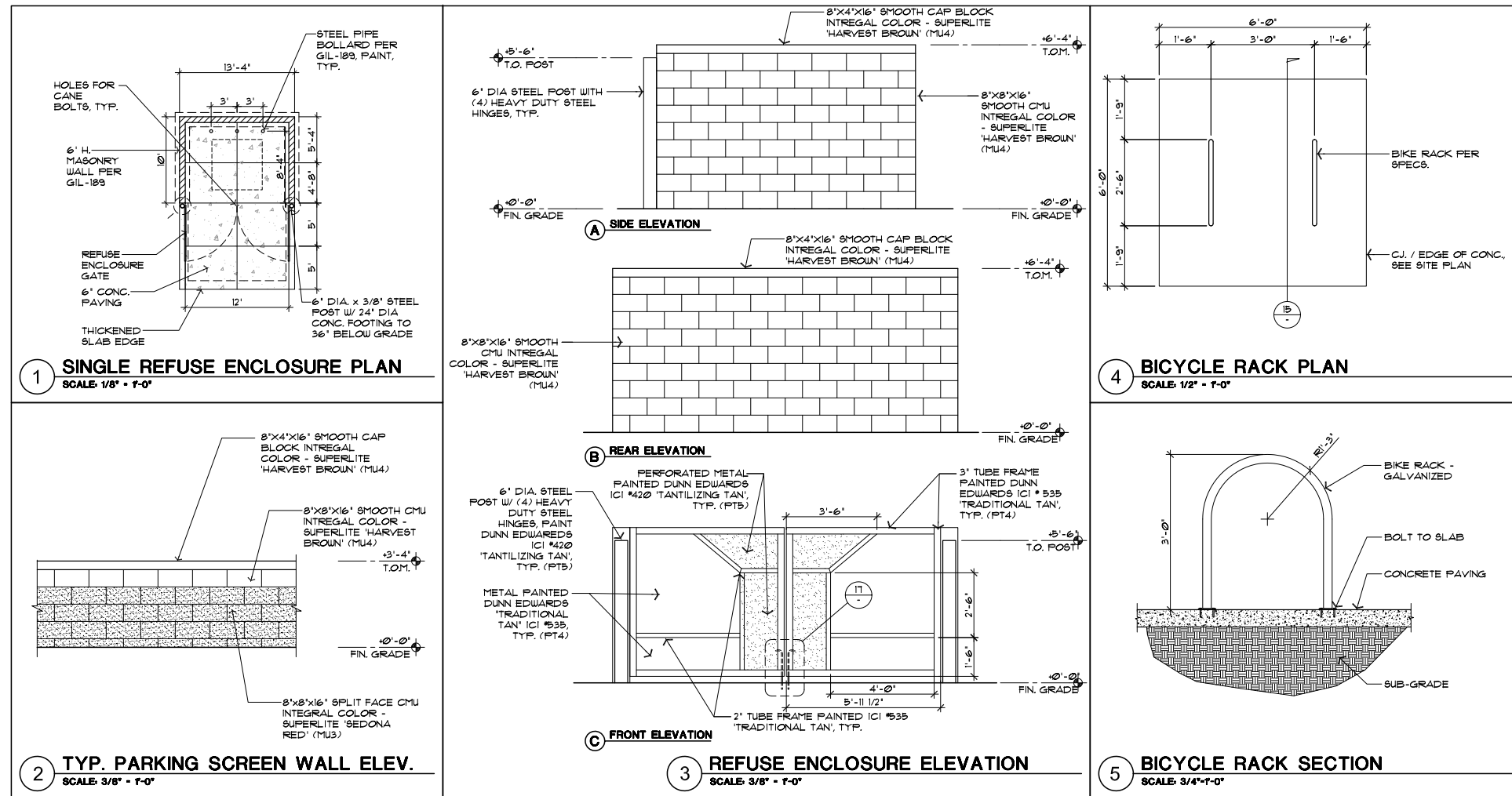
SANTAN VILLAGE North

S.W.C. Williams Field Road and San Tan Village Parkway
Gilbert, Arizona

SANTAN
DEVELOPMENT
GROUP



Butler Design Group, Inc
architects & planners



SITE DETAILS

SANTAN VILLAGE North
1950 East Williams Field Road
Gilbert, Arizona

SANTAN
DEVELOPMENT
GROUP



Bd
g
Butler Design Group, Inc
architects & planners

12-15-20
11161.060-ST06

EXISTING LANDSCAPE & IRRIGATION NOTES

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, and equal tree size. At no additional cost to owner. Cacti that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replace with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system, etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.
7. All existing trees to remain, shall be selectively pruned per Landscape ArchS direction.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30".
9. All trees shall be lifted to clear height of 7'.
10. Landscape contractor and general contractor are responsible for locating all existing irrigation sleeves prior to setting any pavers and/or concrete.
11. Landscape contractor shall bore under existing sidewalk rather than saw cut to place new sleeves.

TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall come within 3 feet of fire hydrants or any Fire Dept equipment.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
7. Construction may begin after all permits have been obtained.
8. Maintain a minimum vertical clearance of 15' where trees overhang the curb line.

GENERAL LANDSCAPE NOTES:

1. TREE CALIPERS FOR STANDARD (SINGLE) TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST FOUR (4) TO SIX (6) INCHES ABOVE THE SOIL LINE. FOR TREES WITH FOUR (4) INCH CALIPER AND LESS; AND SIX (6) TO TWELVE (12) INCHES FOR TREES GREATER THAN FOUR (4) INCH CALIPER. TREE CALIPER FOR MULTI-TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST SIX (6) INCHES ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR SIX (6) INCHES ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL. CALIPER OF MULTIPLE TRUNK TREES SHALL BE DETERMINED BY TAKING THE AVERAGE CALIPER OF IT'S TWO (2) LARGEST TRUNKS.
2. TREE CALIPER AND HEIGHT SHALL GOVERN OVER ANY OTHER PLANTING SIZE INFORMATION PROVIDED ON THE DRAWINGS. TREES SPECIFIED BY CONTAINER SIZES ONLY SHALL NOT BE ACCEPTED.
3. THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY. ALL LANDSCAPING SHALL BE MAINTAINED AS APPROVED ON THE THE LANDSCAPE MAINTENANCE SCHEDULE (SEE ATTACHED).
4. A THREE (3) FOOT CLEAR SPACE IS REQUIRED AROUND ALL FIRE SUPPRESSION EQUIPMENT. NO PLANTS MAY BE INSTALLED THAT WILL ENCROACH UPON THIS CLEAR SPACE WHEN MATURE.
5. PLANTINGS WITHIN ANY SITE VISIBILITY EASEMENT SHALL BE MAINTAINED SO THAT NO LIMBS HANG LOWER THAN TEN (10) FEET AND SHRUBS OR OTHER PLANTS PLANTED WITHIN ANY SIGHT VISIBILITY EASEMENT SHALL BE NO TALLER THAN THREE (3) FEET AT FULL GROWTH.
6. THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.

MAINTENANCE NOTE:

All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition. this shall be the responsibility of the property owner.

Construction and installation shall be in accordance with these plans and any deviations will require re-approval. Landscape installations shall be approved by the town of Gilbert inspection services before a certificate of occupancy can be issued.

LANDSCAPE DATA -

Gross Site Area: 222,366 s.f. 5.1 Acres
Acreage:
Gross Building Area: 20,859 s.f. = .47 Acres
Lot coverage Percentage 27.6%
Total on-site Parking 173 spots
Landscape on-site Area: 47,190 s.f. = 1.08 Acres
Landscape as % of site: 27%
(Turf = 336 s.f. total in this phase) less than 1% of LS area
TOTAL Landscape Area: 47,190 S.F. (1.083 AC.)

TREE NOTE:

Trees to meet or exceed ANA specifications.
During bid it shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. in case of discrepancy, plan shall govern.

PROJECT TEAM

Developer
SanTan Development Group
3850 E. Baseline Rd. Ste. 114
Mesa, Arizona 85206
Contact: Ty LeSueur
Ph: (480) 424-3400
Ty@lesueurinvestments.com

Landscape Architect
Laskin & Associates
67 E. Weldon Ave. Ste. 230
Phoenix, Arizona 85012
Contact: Hans Stoll
Ph: (602) 840-7771
hans@laskindesign.com

Architect
Butler Design Group
5017 E. Washington St. Ste 107
Phoenix, Arizona 85034
Contact: Clay Chiappini
Ph: (602) 957-1800
clayc@butlerdesigngroup.com

Civil Engineer
EPS Group, Inc
1130 M. Alma School Road Ste.120
Mesa, Arizona 85201
Contact: Eric Winters
Ph: (480) 355-1559
eric.winters@epsgroupinc.com

LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED CURRENT ANA SPECIFICATIONS

TREES	SIZE	QTY
Quercus virginiana Heritage Live Oak	24" box	23
Cercidium x 'Desert Museum' Desert Museum	36" box u.o.n. standard 48" box	34 1
Phoenix dactylifera Date Palm	20' t.f. diamond cut, matching	2
Chitalpa "Pink Dawn" Chitalpa	2" caliper (min) Matching,	8
Existing Tree to remain and be protected		

SHRUBS	SIZE	QTY
Nerium oleander "Petite Pink" Petite Pink Oleander	5 gallon	130
Caesalpnia Mexicana (Shrub form) Mexican Bird of Paradise	15 gallon	55
Leucophyllum frutescens "compacta" Compact Desert Sage	5 gallon	73
Agave weberii Webers Agave	5 gallon	81
Eremophila 'Valentine' Valentine Bush	5 gallon	91
Hesperaloe parviflora 'Perpa' Brakelights® Red Yucca	5 gallon	202
Dasyliro quadrangulatum Toothless Desert Spoon	5 gallon	23

GROUNDCOVER	SIZE	QTY
Lantana montevidensis New Gold & Purple Trailing Lantana 50/50 Mix	1 gallon	248
Ruellia brittoniana 'katie' Purple 'Little Katie' Ruellia	1 gallon	131
Convolvulus cnerium Bush Morning Glory	1 gallon	53
Annuals	4" pot 8" o.c.	40 s.f.
Mid-Iron sod, hybrid bermuda		336 s.f.

INERT MATERIAL

- Decomposed Granite - 1/2" screened - 2" min thickness
Table Mesa Brown in all landscape areas.
- 3" to 6" sized "Fractured Granite" Chunk Rock
color : Table Mesa Brown (enclosed by Steel Edge at grade)
- 4" x 6" Concrete Header at all turf and annual locations
Surface Select Granite Boulders 3'x3' minimum size
(boulders to be minimum 1 ton in weight) bury a minimum of 1/3

PRELIMINARY LANDSCAPE NOTES

1. The entire site will be maintained in accordance with City of Gilbert Standards.
2. 60% of all trees will be 24" Box or larger.
3. An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.
4. 1/2" screened Table Mesa Brown 2" min thickness(submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape areas.
5. All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.
6. Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.
7. Granite Rip Rap 3" to 6" (Table Mesa Brown). Place at all curb cuts and down spouts to prevent erosion. (see Civil for quantities and location.)
8. All final landscape plans to meet City of Gilbert min standards for qty and type.
9. Place arbor guards on all trees placed in turf areas.
10. Screen transformers and utility risers with landscape material.

BID & CONSTRUCTION NOTES:

1. All trees must meet or exceed the caliper, width and height at time of planting regardless of box size listed.
2. All trees to be tagged and approved at the nursery by the Landscape Architect a minimum of (6) months prior to planting.
3. Any trees may be rejected based on aesthetic quality and appearance.
4. Contractor to provide sample photos, specifications, quantities and location of trees to landscape architect a minimum of (1) one week prior to nursery visit for selection and review.
5. Landscape contractor to provide any deposit or retainers needed by nursery to retain trees for a period of (3) three months or more.

12-15-20

11161.060-ST06

GENERAL BLDG FOUNDATION & IRRIGATION NOTE:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

PL.1

sheet 1 of 3



Butler Design Group, Inc
architects & planners

SANTAN
DEVELOPMENT
GROUP



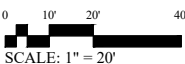
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com



SANTAN VILLAGE North
1950 East Williams Field Road
Gilbert, Arizona

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-00"



EXISTING LANDSCAPE & IRRIGATION NOTES

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, and equal tree size. At no additional cost to owner. Cacti that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replace with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system, etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.
7. All existing trees to remain, shall be selectively pruned per Landscape Architects direction.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30'.
9. All trees shall be lifted to clear height of 7'.
10. Landscape contractor and general contractor are responsible for locating all existing irrigation sleeves prior to setting any pavers and/or concrete.
11. Landscape contractor shall bore under existing sidewalk rather than saw cut to place new sleeves.

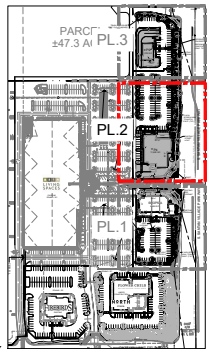
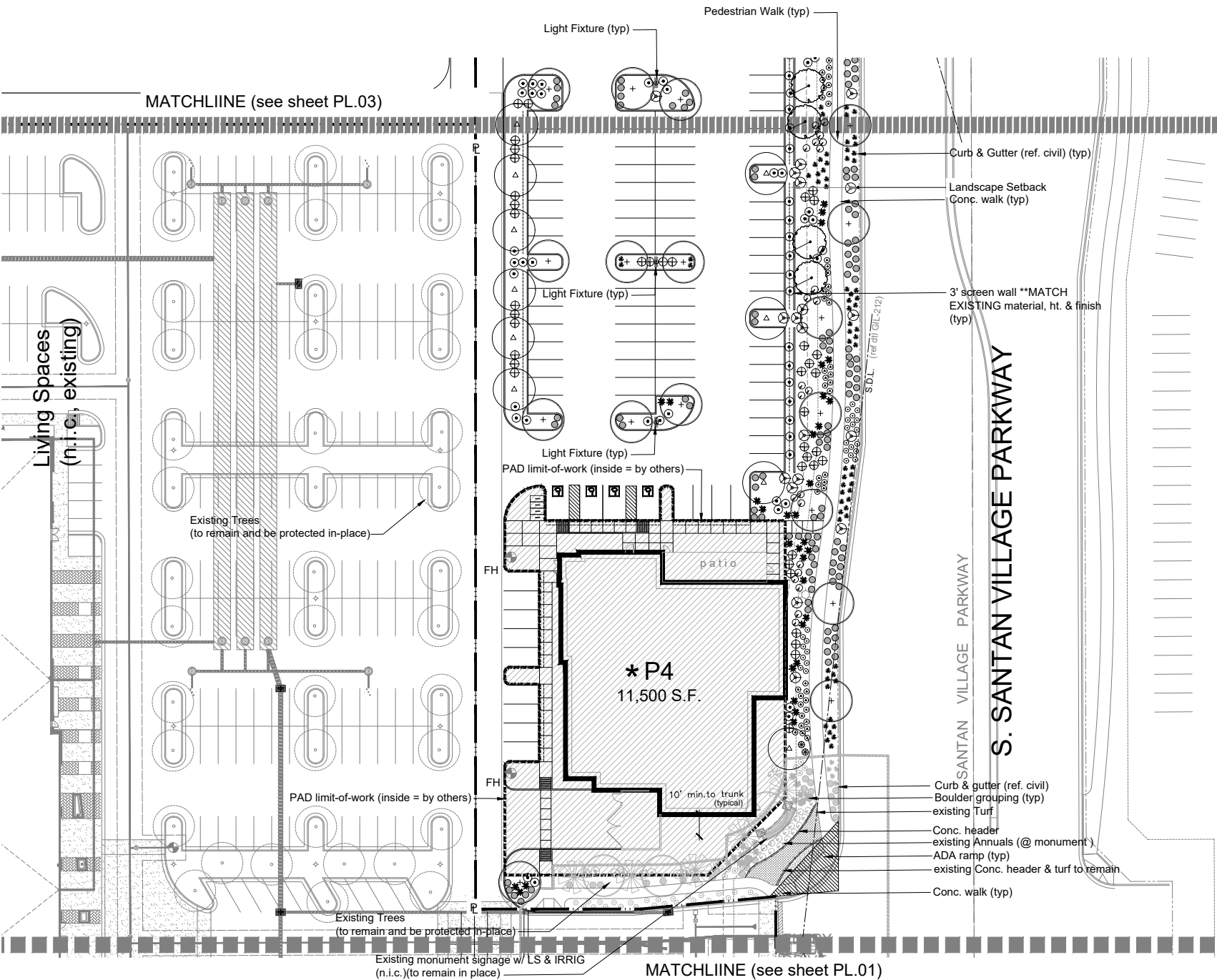
TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall come within 3 feet of fire hydrants or any Fire Department equipment.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
7. Construction may begin after all permits have been obtained.
8. no plant material shall be placed 3' from any fire hydrant, or fire dept. connection (fdc) maintain a minimum vertical clearance of 15' where trees overhang the curb line.

TREE NOTE:

Trees to meet or exceed ANA specifications. During bid it shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. in case of discrepancy, plan shall govern.

MATCHLINE (see sheet PL.03)



LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED CURRENT ANA SPECIFICATIONS		
TREES		SIZE
	Quercus virginiana Heritage Live Oak	24" box
	Cercidium x 'Desert Museum' Desert Museum	36" box u.o.n. standard 48" box
	Phoenix dactylifera Date Palm	20' t.f. diamond cut, matching
	Chitalpa "Pink Dawn" Chitalpa	2" caliper (min) Matching,
	Existing Tree to remain and be protected	
SHRUBS		
		SIZE
	Nerium oleander "Petite Pink" Petite Pink Oleander	5 gallon
	Caesalpinia Mexicana (Shrub form) Mexican Bird of Paradise	15 gallon
	Leucophyllum frutescens "compacta" Compact Desert Sage	5 gallon
	Agave weberii Webers Agave	5 gallon
	Eremophila 'Valentine' Valentine Bush	5 gallon
	Hesperaloe parviflora 'Perpa' Brakelights® Red Yucca	5 gallon
	Dasyliro quadrangulatum Toothless Desert Spoon	5 gallon
GROUND COVER		
		SIZE
	Lantana montevidensis New Gold & Purple Trailing Lantana	1 gallon
	Ruellia brittoniana 'katie' Purple 'Little Katie' Ruellia	1 gallon
	Convolvulus cneorum Bush Morning Glory	1 gallon
	Annuals	4" pot 8" o.c.
	Mid-Iron sod, hybrid bermuda	(existing)
INERT MATERIAL		
		SIZE
	Decomposed Granite - 1/2" screened - 2" min thickness Table Mesa Brown in all landscape areas.	
	3" to 6" sized "Fractured Granite" Chunk Rock color : Table Mesa Brown (enclosed by Steel Edge at grade)	
	4" x 6" Concrete Header at all turf and annual locations Surface Select Granite Boulders 3'x3'x3' minimum size (boulders to be minimum 1 ton in weight) bury a minimum of 1/3	

PRELIMINARY LANDSCAPE NOTES

1. The entire site will be maintained in accordance with City of Gilbert Standards.
2. 60% of all trees will be 24" Box or larger.
3. An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.
4. 1/2" screened Table Mesa Brown 2" min thickness(submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape areas.
5. All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.
6. Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.
7. Granite Rip Rap 3" to 6" (Table Mesa Brown). Place at all curb cuts and down spouts to prevent erosion. (see Civil for quantities and location.)
8. All final landscape plans to meet City of Gilbert min standards for qty and type.
9. Place arbor guards on all trees placed in turf areas.
10. Screen transformers and utility risers with landscape material.

BID & CONSTRUCTION NOTES:

1. All trees must meet or exceed the caliper, width and height at time of planting regardless of box size listed.
2. All trees to be tagged and approved at the nursery by the Landscape Architect a minimum of (6) months prior to planting.
3. Any trees may be rejected based on aesthetic quality and appearance.
4. Contractor to provide sample photos, specifications, quantities and location of trees to landscape architect a minimum of (1) one week prior to nursery visit for selection and review.
5. Landscape contractor to provide any deposit or retainers needed by nursery to retain trees for a period of (3) three months or more.

GENERAL BLDG FOUNDATION & IRRIGATION NOTE:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

PL.2
sheet 2 of 3

SANTAN VILLAGE North
1950 East Williams Field Road
Gilbert, Arizona

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"

0 10' 20' 40'
SCALE: 1" = 20'

SANTAN
DEVELOPMENT
GROUP



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
P (602) 840-7771
F (602) 840-8021
www.laskindesign.com



Butler Design Group, Inc
architects & planners

GENERAL LANDSCAPE NOTES:

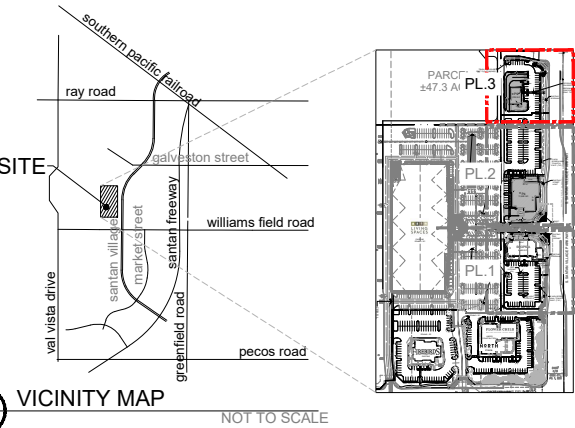
1. TREE CALIPERS FOR STANDARD (SINGLE) TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST FOUR (4) TO SIX (6) INCHES ABOVE THE SOIL LINE. FOR TREES WITH FOUR (4) INCH CALIPER AND LESS; AND SIX (6) TO TWELVE (12) INCHES FOR TREES GREATER THAN FOUR (4) INCH CALIPER. TREE CALIPER FOR MULTI-TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST SIX (6) INCHES ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR SIX (6) INCHES ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL. CALIPER OF MULTIPLE TRUNK TREES SHALL BE DETERMINED BY TAKING THE AVERAGE CALIPER OF ITS TWO (2) LARGEST TRUNKS.
2. TREE CALIPER AND HEIGHT SHALL GOVERN OVER ANY OTHER PLANTING SIZE INFORMATION PROVIDED ON THE DRAWINGS. TREES SPECIFIED BY CONTAINER SIZES ONLY SHALL NOT BE ACCEPTED.
3. THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY. ALL LANDSCAPING SHALL BE MAINTAINED AS APPROVED ON THE THE LANDSCAPE MAINTENANCE SCHEDULE (SEE ATTACHED).
4. A THREE (3) FOOT CLEAR SPACE IS REQUIRED AROUND ALL FIRE SUPPRESSION EQUIPMENT. NO PLANTS MAY BE INSTALLED THAT WILL ENCROACH UPON THIS CLEAR SPACE WHEN MATURE.
5. PLANTINGS WITHIN ANY SITE VISIBILITY EASEMENT SHALL BE MAINTAINED SO THAT NO LIMBS HANG LOWER THAN TEN (10) FEET AND SHRUBS OR OTHER PLANTS PLANTED WITHIN ANY SIGHT VISIBILITY EASEMENT SHALL BE NO TALLER THAN THREE (3) FEET AT FULL GROWTH.
6. THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.

MAINTENANCE NOTE:

All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition. this shall be the responsibility of the property owner. Construction and installation shall be in accordance with these plans and any deviations will require re-approval. Landscape installations shall be approved by the town of Gilbert inspection services before a certificate of occupancy can be issued.

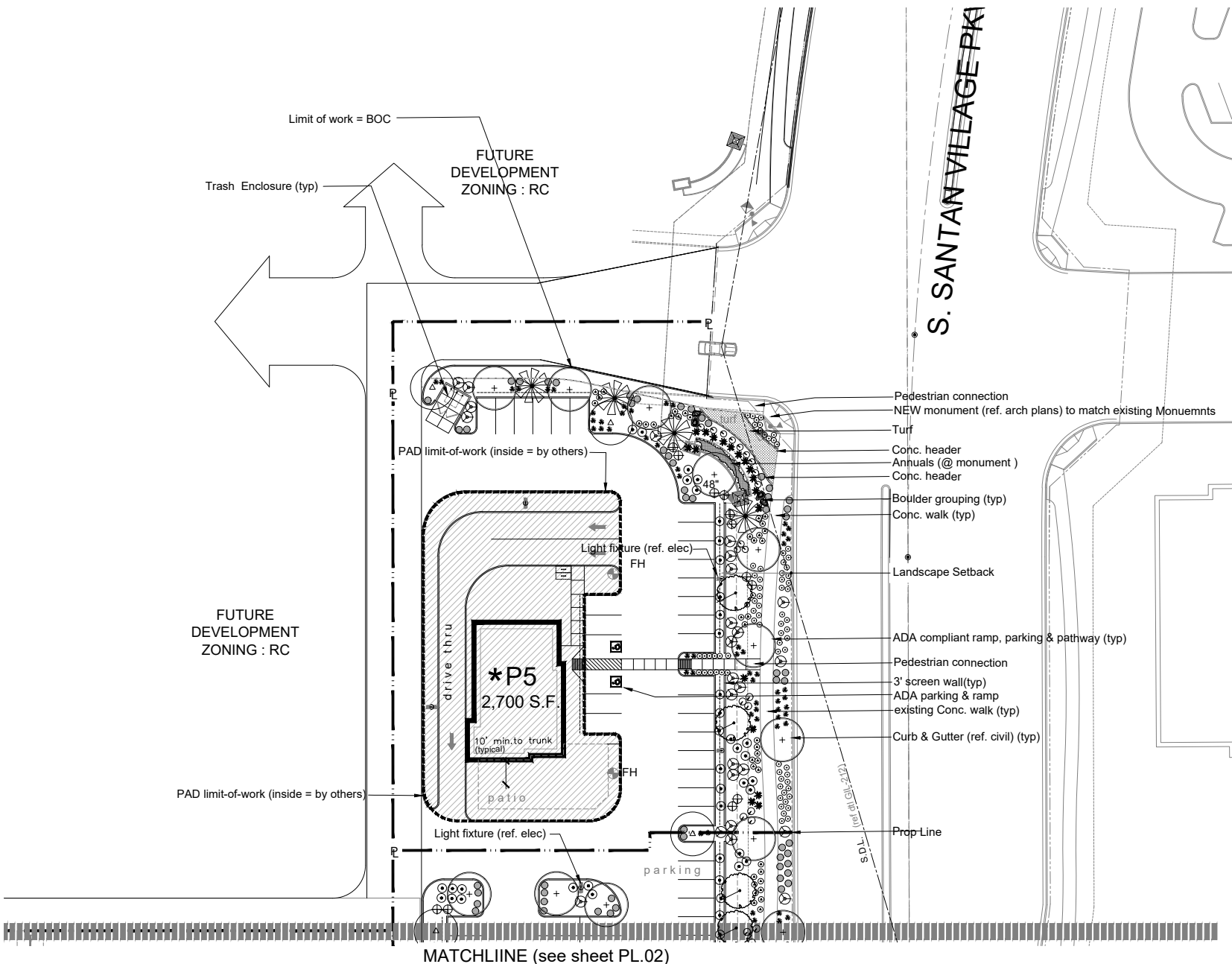
TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planing Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall come within 3 feet of fire hydrants or any Fire Department equipment.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
7. Construction may begin after all permits have been obtained.
8. no plant material shall be placed 3' from any fire hydrant, or fire dept. connection (fdc) maintain a minimum vertical clearance of 15' where trees overhang the curb line.



TREE NOTE:

Trees to meet or exceed ANA specifications. During bid it shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. in case of discrepancy, plan shall govern.



LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED CURRENT ANA SPECIFICATIONS		
TREES		SIZE
	Quercus virginiana Heritage Live Oak	24" box
	Cercidium x "Desert Museum" Desert Museum	36" box u.o.n. standard 48" box
	Phoenix dactylifera Date Palm (info provided for reference if replacement needed)	20' t.f. diamond cut, matching
	Chitalpa "Pink Dawn" Chitalpa	2" caliper (min) Matching,
	Existing Tree to remain and be protected	
SHRUBS		
	Nerium oleander "Petite Pink" Petite Pink Oleander	5 gallon
	Caesalpnia Mexicana (Shrub form) Mexican Bird of Paradise	15 gallon
	Leucophyllum frutescens "compacta" Compact Desert Sage	5 gallon
	Agave weberii Webers Agave	5 gallon
	Eremophila "Valentine" Valentine Bush	5 gallon
	Hesperaloe parviflora "Perpa" Brakelights® Red Yucca	5 gallon
	Dasylirotr quadrangulatum Toothless Desert Spoon	5 gallon
GROUND COVER		
	Lantana montevidensis New Gold & Purple Trailing Lantana	1 gallon
	Ruellia brittoniana "katie" Purple "Little Katie" Ruellia	1 gallon
	Convolvulus cneorum Bush Morning Glory	1 gallon
	Annuals	4" pot 8" o.c.
	Mid-Iron sod, hybrid bermuda	(existing)
INERT MATERIAL		
	Decomposed Granite - 1/2" screened - 2" min thickness Table Mesa Brown in all landscape areas.	
	3" to 6" sized "Fractured Granite" Chunk Rock color : Table Mesa Brown (enclosed by Steel Edge at grade)	
	4" x 6" Concrete Header at all turf and annual locations Surface Select Granite Boulders 3'x3'x3' minimum size (boulders to be minimum 1 ton in weight) bury a minimum of 1/3	

PRELIMINARY LANDSCAPE NOTES

1. The entire site will be maintained in accordance with City of Gilbert Standards.
2. 60% of all trees will be 24" Box or larger.
3. An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.
4. 1/2" screened Table Mesa Brown 2" min thickness(submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape areas. All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.
6. Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.
7. Granite Rip Rap 3" to 6" (Table Mesa Brown). Place at all curb cuts and down spouts to prevent erosion. (see Civil for quantities and location.)
8. All final landscape plans to meet City of Gilbert min standards for qty and type.
9. Place arbor guards on all trees placed in turf areas.
10. Screen transformers and utility risers with landscape material.

BID & CONSTRUCTION NOTES:

1. All trees must meet or exceed the caliper, width and height at time of planting regardless of box size listed.
2. All trees to be tagged and approved at the nursery by the Landscape Architect a minimum of (6) months prior to planting.
3. Any trees may be rejected based on aesthetic quality and appearance.
4. Contractor to provide sample photos, specifications, quantities and location of trees to landscape architect a minimum of (1) one week prior to nursery visit for selection and review.
5. Landscape contractor to provide any deposit or retainers needed by nursery to retain trees for a period of (3) three months or more.

GENERAL BLDG FOUNDATION & IRRIGATION NOTE:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

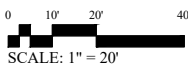
PL.3

sheet 3 of 3

SANTAN VILLAGE North
1950 East Williams Field Road
Gilbert, Arizona

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-00"



SANTAN
DEVELOPMENT
GROUP

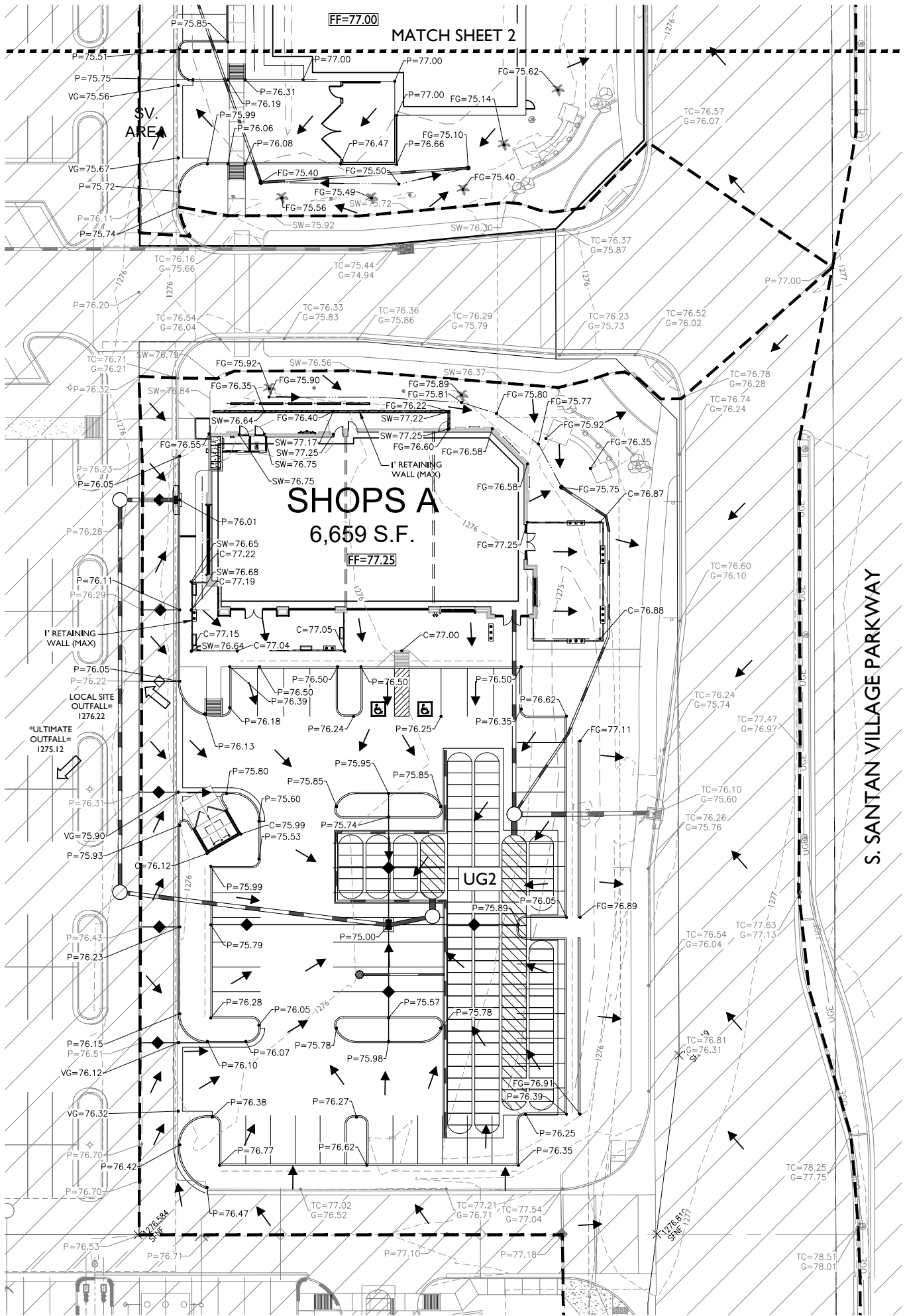


LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
P (602) 840-7771
F (602) 840-8021
www.laskindesign.com



Butler Design Group, Inc
architects & planners



CONSTRUCTION NOTES

50-YR. 24-HR RUNOFF & RETENTION CALCULATIONS

$V_{REQ} = C * (D/12) * A$
WHERE: V_{REQ} = RUNOFF VOLUME (CF)
 C = COMPOSITE RUNOFF COEFFICIENT
 D = 50-YR. 24-HR RAINFALL DEPTH (IN) = 3.00-IN
 A = AREA (SF)

UG1
VOLUME REQUIRED
LANDSCAPE FRONTAGE ($C=.70$)
 $V = .70 * (3/12) * 17,319 = 3,031$ CF
ON-SITE ($C=.95$)
 $V = .95 * (3/12) * 137,016 = 32,541$ CF
TOTAL VOLUME REQUIRED = 35,572 CF

VOLUME PROVIDED
*THIS PROJECT WILL UTILIZE STORMTECH
UNDERGROUND STORAGE CHAMBERS

UG1= 35,783 CF (194 STORMTECH CHAMBERS)

UG2
VOLUME REQUIRED
LANDSCAPE FRONTAGE ($C=.70$)
 $V = .70 * (3/12) * 12,664 = 2,216$ CF
ON-SITE ($C=.95$)
 $V = .95 * (3/12) * 83,416 = 19,811$ CF
TOTAL VOLUME REQUIRED = 22,208 CF

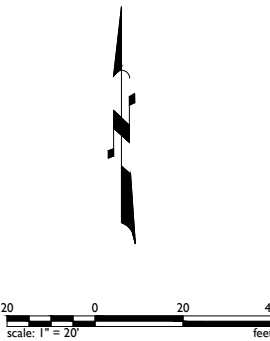
VOLUME PROVIDED
*THIS PROJECT WILL UTILIZE STORMTECH
UNDERGROUND STORAGE CHAMBERS

UG2= 22,598 CF (118 STORMTECH CHAMBERS)

LEGEND

- UNDERGROUND STORAGE
- SURFACE FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- STORM DRAIN MANHOLE
- GRADE BREAK

BENCHMARK:
NGS DESIGNATION 2BL1, PID AJ3651. ALUMINUM
CAP 60" WEST OF THE INTERSECTION OF
GREENFIELD ROAD AND THE EASTERN CANAL IN
T1S, R6E, SECTION 16. NAVD88 ELEV=1277.60'



San Tan Village Parcels 3,4,5

Gilbert, Arizona

Preliminary Grading Plan

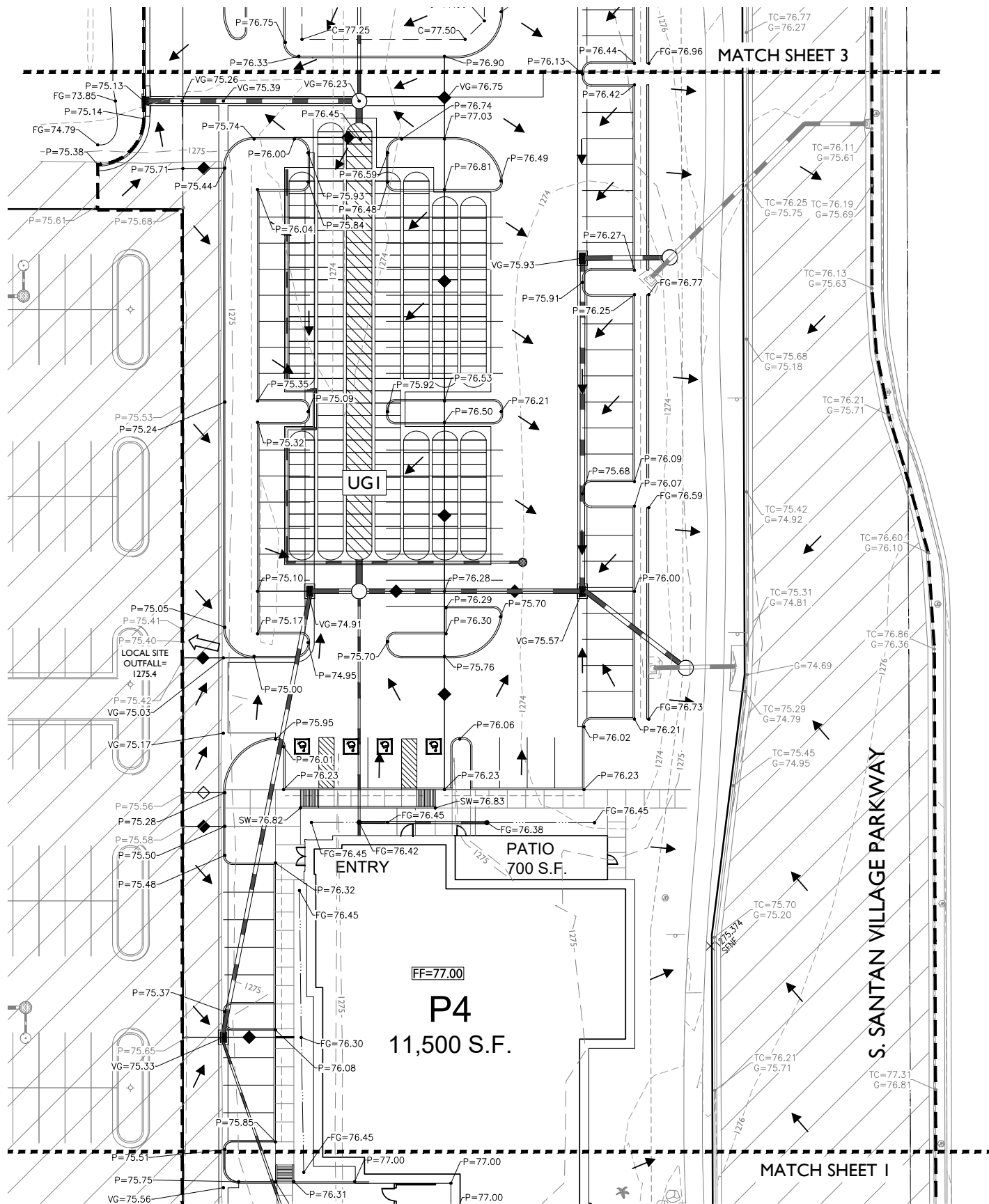


EPS GROUP
1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgroupinc.com

Call at least two full working days
before you begin excavation.
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602)263-1100

Designer: JSD
Job No. 20-1408
Drawn by: JSD
Dwg No. GD01

Sheet No. 1
of 6



CONSTRUCTION NOTES

50-YR. 24-HR RUNOFF & RETENTION CALCULATIONS

$V_{REQ} = C * (D/12) * A$
WHERE: V_{REQ} = RUNOFF VOLUME (CF)
C = COMPOSITE RUNOFF COEFFICIENT
D = 50-YR. 24-HR RAINFALL DEPTH (IN) = 3.00-IN
A = AREA (SF)

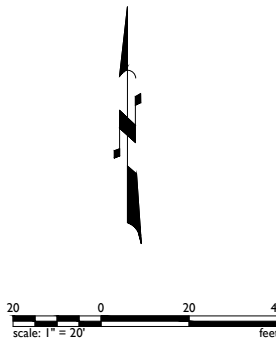
UG1
VOLUME REQUIRED
LANDSCAPE FRONTAGE (C=.70)
 $V = .70 * (3/12) * 17,319 = 3,031$ CF
ON-SITE (C=.95)
 $V = .95 * (3/12) * 137,016 = 32,541$ CF
TOTAL VOLUME REQUIRED = 35,572 CF
VOLUME PROVIDED
*THIS PROJECT WILL UTILIZE STORMTECH UNDERGROUND STORAGE CHAMBERS
UG1= 35,783 CF (194 STORMTECH CHAMBERS)

UG2
VOLUME REQUIRED
LANDSCAPE FRONTAGE (C=.70)
 $V = .70 * (3/12) * 12,664 = 2,216$ CF
ON-SITE (C=.95)
 $V = .95 * (3/12) * 83,416 = 19,811$ CF
TOTAL VOLUME REQUIRED = 22,208 CF
VOLUME PROVIDED
*THIS PROJECT WILL UTILIZE STORMTECH UNDERGROUND STORAGE CHAMBERS
UG2= 22,598 CF (118 STORMTECH CHAMBERS)

LEGEND

- UNDERGROUND STORAGE
- SURFACE FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- STORM DRAIN MANHOLE
- GRADE BREAK

BENCHMARK:
NGS DESIGNATION 2BL1, PID AJ3651. ALUMINUM CAP 60' WEST OF THE INTERSECTION OF GREENFIELD ROAD AND THE EASTERN CANAL IN T1S, R6E, SECTION 16. NAVD88 ELEV=1277.60'



San Tan Village Parcels 3,4,5

Gilbert, Arizona

Preliminary Grading Plan



EPS GROUP
1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

Call at least two full working days before you begin excavation.
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602)263-1100

Designer: JSD
Job No. 20-1408
Drawn by: JSD
Dwg No. GD02
Sheet No. 2 of 6

Dec 16, 2020 10:08am S:\Projects\2020\20-1408\Civil\DRB\DR Plans\20-1408 - DR - GD03.dwg



Designer: JSD	Job No. 20-1408	Sheet No. 3 of 6
Drawn by: JSD	Dwg No. GD03	

Dec 16, 2020 9:52am S:\Projects\2020\20-1408\Civil\DRB\DR Plans\20-1408 - DR - UT01.dwg

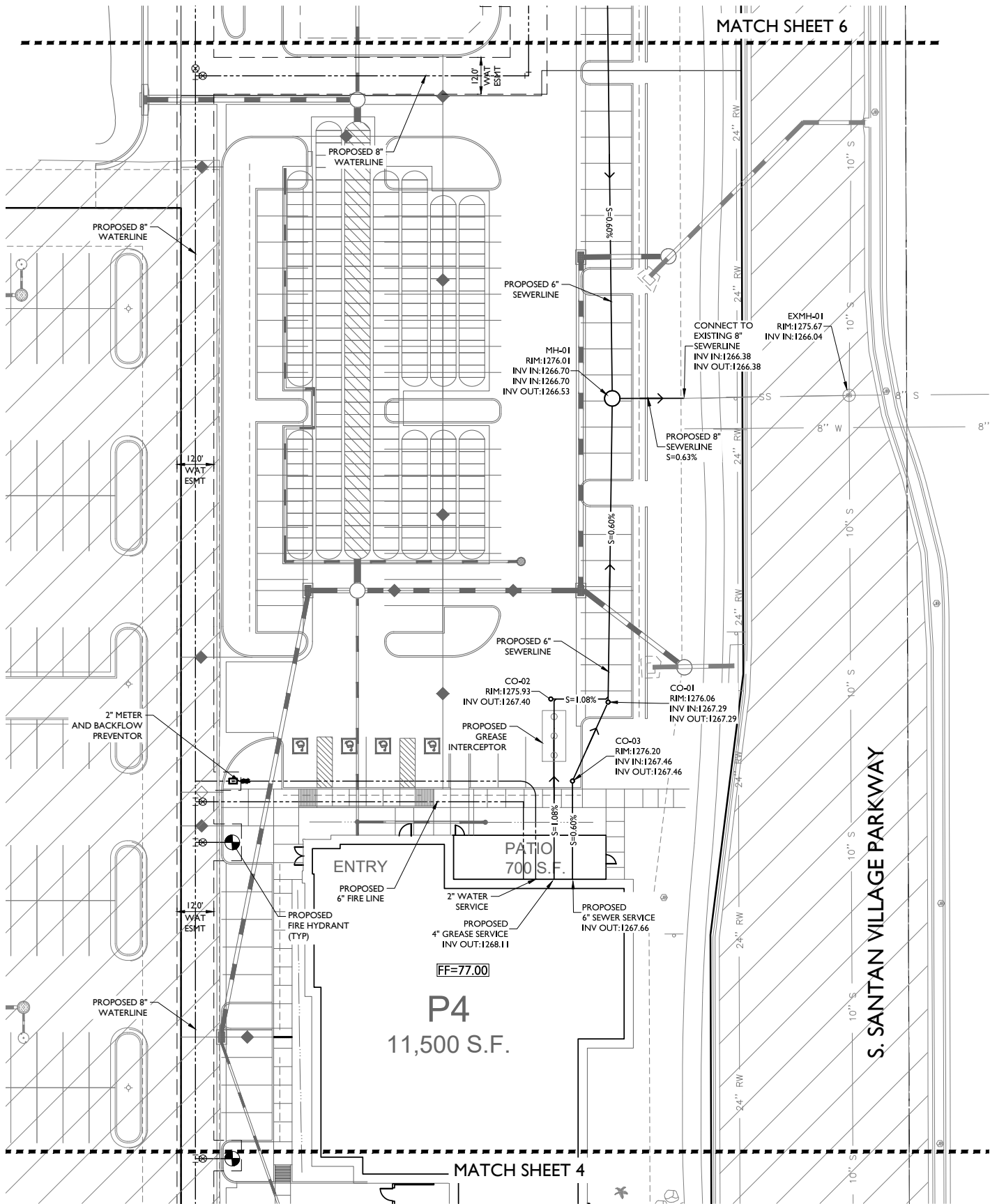


Sheet No. 4 of 6

20-1408 - San Tan Village Parcels 3,4,5

Dec 16, 2020 9:54am S:\Projects\2020\20-1408\Civil\DRB\DR Plans 20-1408 - DR - UT02.dwg

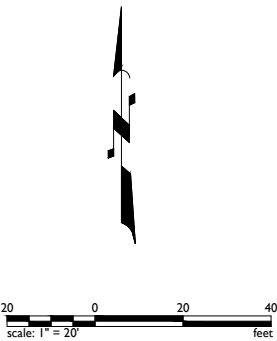
jdltgen



CONSTRUCTION NOTES

LEGEND

- ⊗ WATER VALVE
- WATER TEE
- ⊙ FIRE HYDRANT
- WATER LINE
- SEWER LINE
- SEWER MANHOLE
- SEWER CLEANOUT



San Tan Village Parcels 3,4,5

Gilbert, Arizona

Preliminary Utility Plan



EPS GROUP
1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgroupinc.com

Call at least two full working days
before you begin excavation.
ARIZONA 811
Dial 8-1-1 or 1-800-STAKE-IT (782-6348)
In Maricopa County: (602)263-1100

Designer:
JSD

Drawn by:
JSD

Job No. **20-1408**

Dwg No. **UT02**

Sheet No. **5**
of **6**

Dec 16, 2020 9:56am S:\Projects\2020\20-1408\Civil\DRB\DR Plans\20-1408 - DR - UT03.dwg



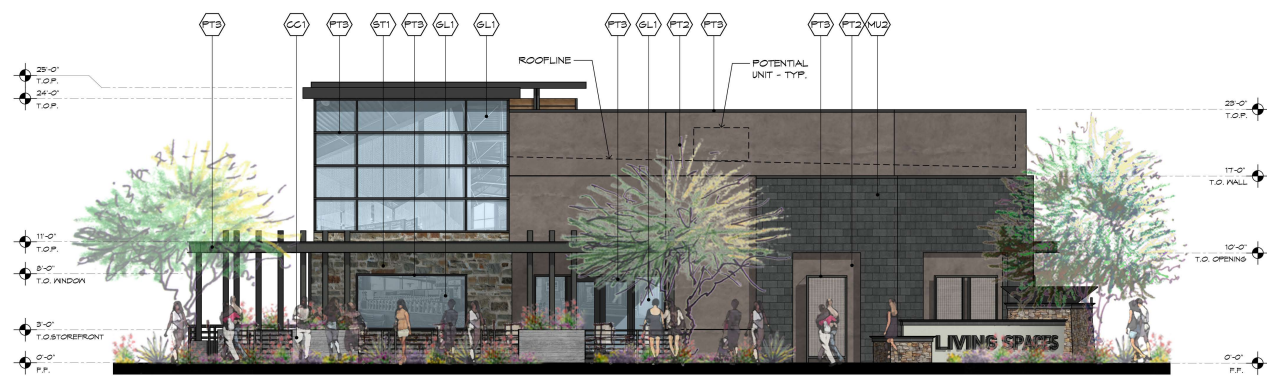
Designer: JSD	Job No. 20-1408	Sheet No. 6 of 6
Drawn by: JSD	Dwg No. UT03	



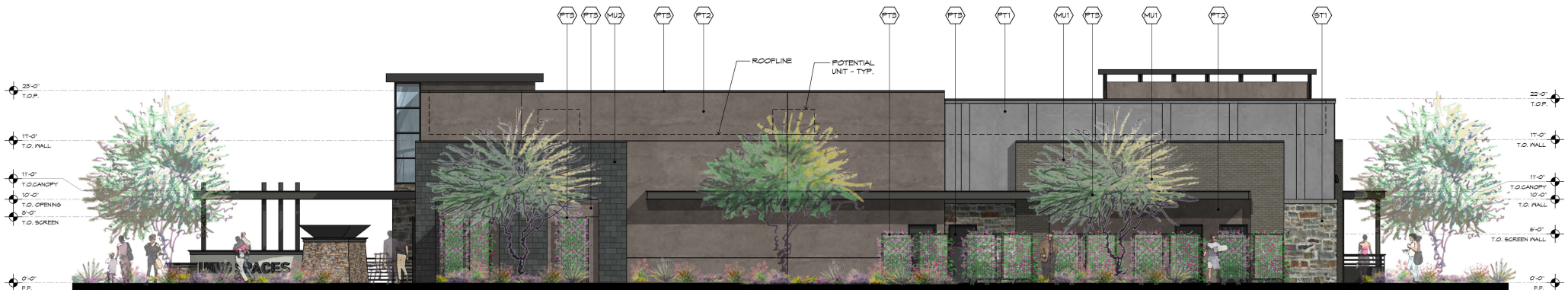
1 SOUTH ELEVATION - SHOPS A
Scale: 1/8" = 1'-0"



2 WEST ELEVATION - SHOPS A
Scale: 1" = 1/8" = 1'-0"



3 EAST ELEVATION - SHOPS A
Scale: 1/8" = 1'-0"



4 NORTH ELEVATION - SHOPS A
Scale: 1/8" = 1'-0"

MATERIAL / COLOR SCHEDULE					
MARK	DESCRIPTION	FINISH / COLOR	MODEL	MANUFACTURER	COMMENTS
CC1	BOARD FORMED CONCRETE	-	-	TBD	
CC2	FIBER CEMENT WOOD	SPRUCE	VINTAGE WOOD EPC166F	NICHIHA	
GL1	INSULATED GLAZING	BLUE/GRAY	VUE24-S0	VIRACON	
GL2	INSULATED GLAZING	BLUE/GREEN/GRAY	VUE1-30	VIRACON	
MU1	8X8X16 CONCRETE MASONRY UNIT	DURANGO	TRENDSTONE	ECHELON MASONRY	
MU2	8X8X16 CONCRETE MASONRY UNIT	OPAL	TRENDSTONE	ECHELON MASONRY	
ST1	12" WIDE STONE VENEER	COYOTE HILLS FIELDSTONE	THIN VENEER	SOLSTICE STONE	
PT1	PAINTED E.J.F.S.	COLD MORNING	DE6369	DUNN EDWARDS	
PT2	PAINTED E.J.F.S.	COCOA POWDER	DET631	DUNN EDWARDS	
PT3	PAINTED STEEL	BLACK TIE	DE6351	DUNN EDWARDS	

CMU by Echelon Masonry

MU1



RUNNING BOND

MU2




RUNNING BOND

TRENDSTONE
DURANGO


TRENDSTONE
OPAL

CMU by Superlite

MU3



MU4



SCREEN WALL

INTEGRAL COLOR
SEDONA RED

INTEGRAL COLOR
HARVEST BROWN

CONCRETE by TBD

CC1




BOARD FORMED CONCRETE

CAST IN PLACE

STONE by Solstice Stone

ST1




EXTERIOR WALL VENEER

THIN VENEER
COYOTE HILLS FIELDSTONE


PAINT by Dunn Edwards / ICI The Master Palette

PT1




FIELD COLOR

PT2




FIELD COLOR

PT3




FIELD COLOR

PT4



PT5



SITE COLOR

COLD MORNING
DE 6365

COCOA POWDER
DET 631

BLACK TIE
DE 6357

TRADITIONAL TAN
ICI#535

TANTALIZING TAN
ICI#420

FIBER CEMENT by Nichiha

CC2



VINTAGE WOOD EPC766F
SPRUCE

INSULATED GLASS by Viracon

GL1



STOREFRONT

GL2

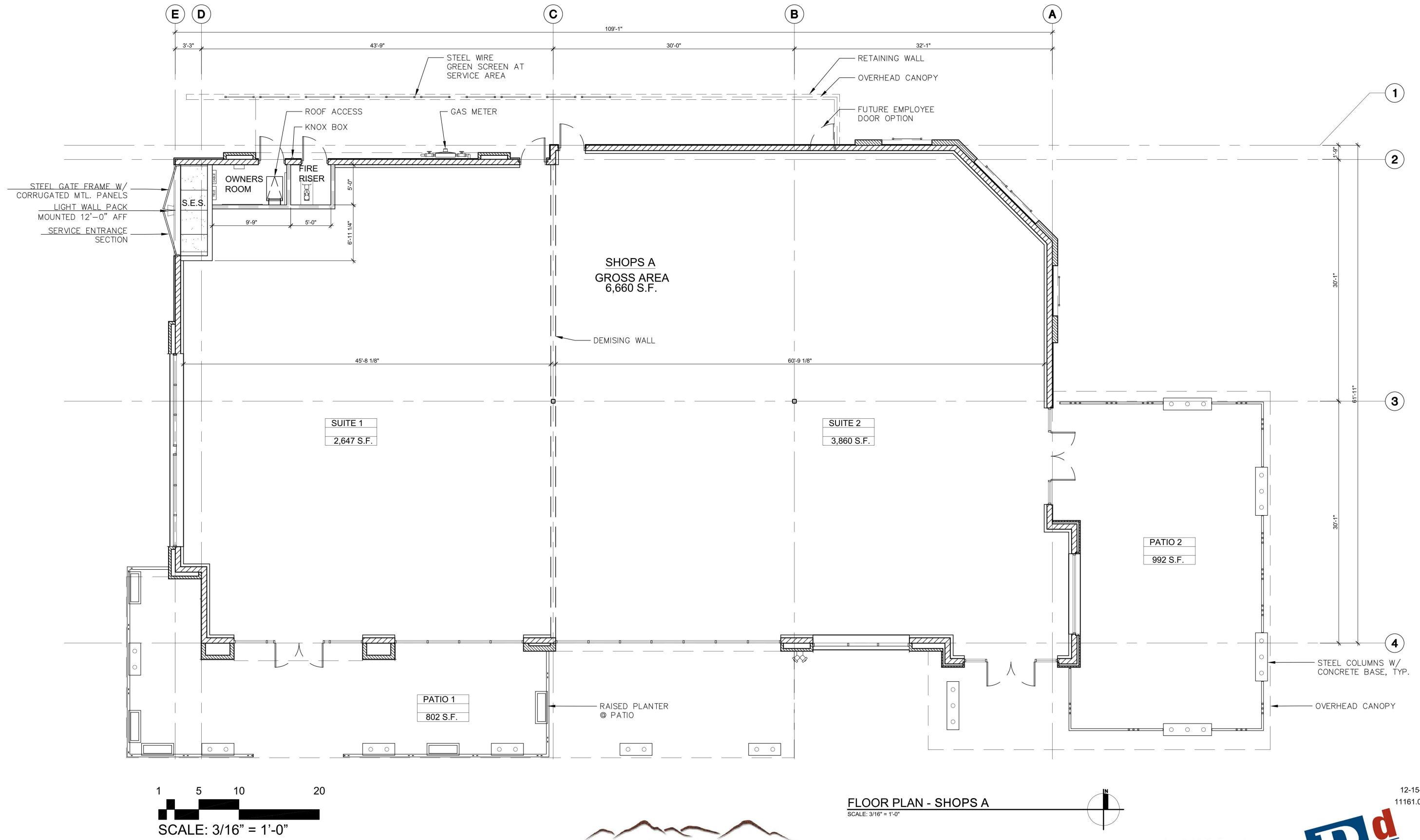


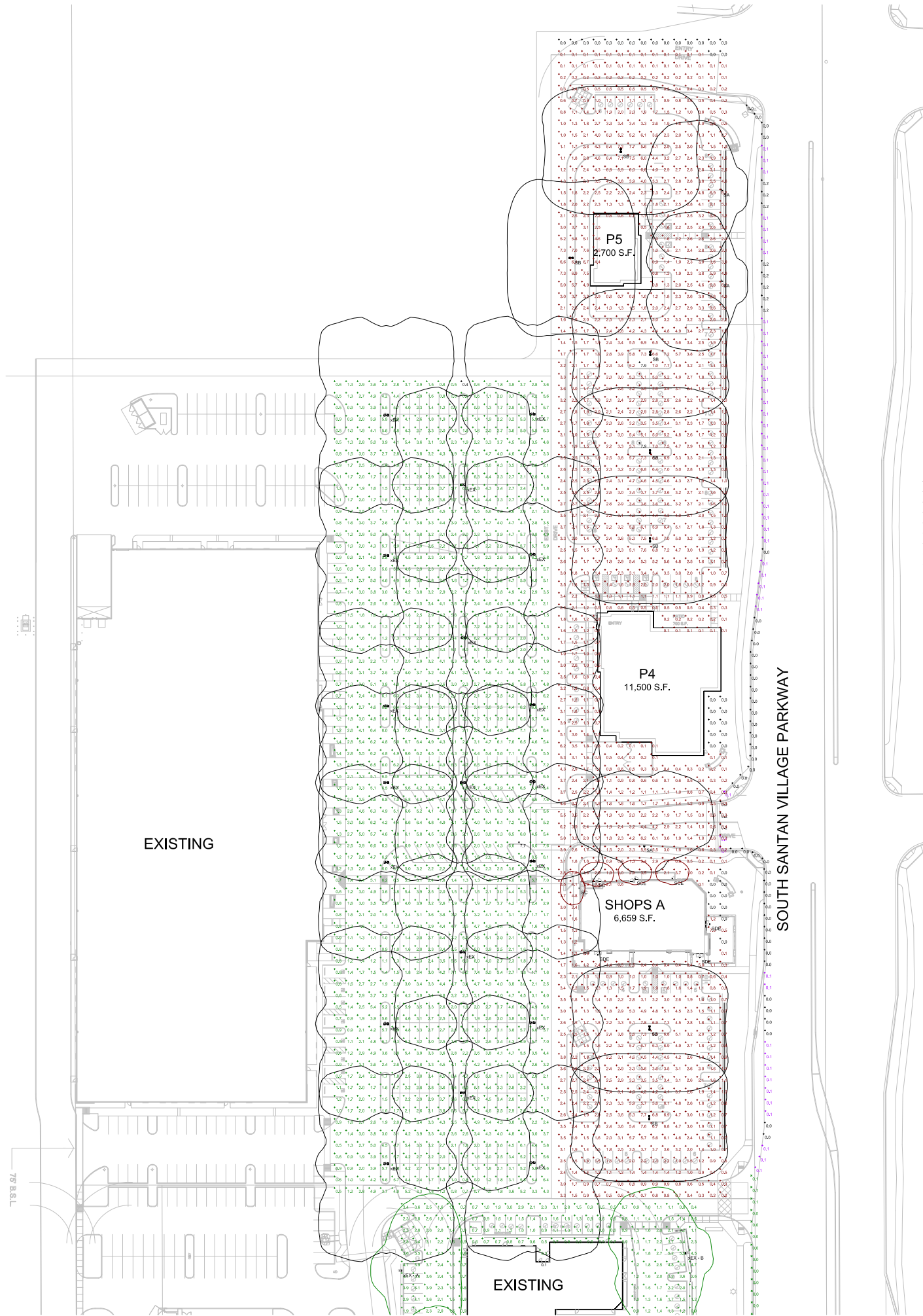
TOWER

VUE24-50
BLUE/GRAY

VUE1-30
BLUE/GREEN/GRAY

COLOR AND MATERIALS

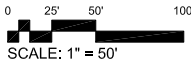




Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	SA	3	Visionaire Lighting LLC	AME-2-L-T4-144LC-3-3K-UNV-(MOUNTING)-(FINISH) / SSS 22.5' POLE WITH 2.5' BASE	19 in. L x 19 in. W x 12 in. H LED LUMINAIRE	3000K LED	1	18162	0.91	154	25 Feet
	SB	7	Visionaire Lighting LLC	(2)AME-2-L-T3-144LC-3-3K-UNV-(MOUNTING)-(FINISH) / SSS 22.5' POLE WITH 2.5' BASE	19 in. L x 19 in. W x 12 in. H LED LUMINAIRE	3000K LED	1	18638	0.91	308	25 Feet
	SC	2	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	1163	0.91	10.0002	
	SCE	2	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW E4WH	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC		1	1163	0.91	10.0002	
	SDE	3	Lithonia Lighting	LDN6 30/10 LO6AR LSS EL	6IN LDN, 3000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80, INTEGRAL BATTERY BACKUP		1	938	0.91	10.44	
	xEX	19	Lithonia Lighting	TWIN HEAD KSE2 250M R3 SCWA SP04/SSS 23'	TWIN HEAD SITE POLE 25'	ONE 250-WATT PULSE START METAL HALIDE	1	25000	0.81	576	25 Feet
	xEX - A	2	Visionaire Lighting LLC	AME-2-L-T3-144LC-3-3K-UNV	19 in. L x 19 in. W x 12 in. H LED LUMINAIRE	3000K LED	1	18638	0.91	154	25 Feet
	xEX - B	4	Visionaire Lighting LLC	AME-2-L-T4-144LC-3-3K-UNV	19 in. L x 19 in. W x 12 in. H LED LUMINAIRE	3000K LED	1	18162	0.91	154	25 Feet

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXISTING PARKING (LIVING SPACES)	+	3.4 fc	7.7 fc	0.4 fc	19.3:1	8.5:1
EXISTING PL FC @ 5'	✕	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
EXISTING SITE FC AFG	+	2.0 fc	6.7 fc	0.1 fc	67.0:1	20.0:1
FC ON SITE AT GRADE	+	2.3 fc	7.9 fc	0.0 fc	N/A	N/A
PROPERTY LINE @ 5'	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A

PHOTOMETRICS PLAN



SANTAN VILLAGE *North*
1950 East Williams Field Road
Gilbert, Arizona

**SANTAN
DEVELOPMENT
GROUP**

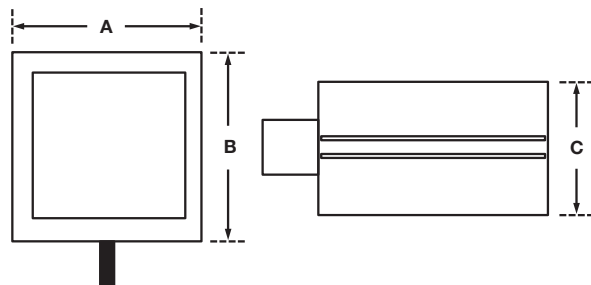


Butler Design Group, Inc
architects & planners

01-13-21
11161.060-ST06



Dimensional Drawings



Fixture	A	B	C	Stripe	Max. Watts	Lbs.
AME-2-L	19"	19"	12"	2"	238 W	29
AME-4-L	23"	23"	15"	2"	373 W	68

The new American LED Luminaire from Visionaire combines contemporary design with new LED technology; while maintaining a traditional fixture image. The LEDs Performance and Life are maximized by the unique integral aluminum heat sink built into the door frame. Maintenance of the drivers is simplified by making them easily accessible and provided with quick wiring connections.

72, 144 or 224 LEDs are available in 350 or 530 mA rating providing up to 33,000 lumens. Six optical distribution patterns

are available and feature a unique Type T-4A automotive pattern for the front row of auto dealerships. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable Polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

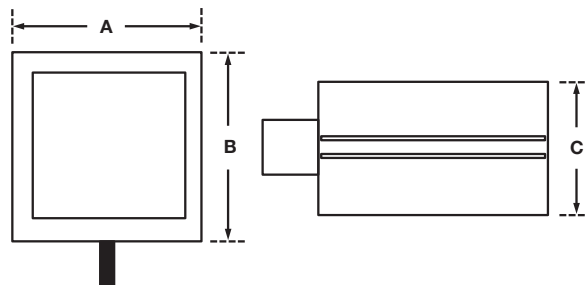
The American LED series is an exceptional choice for auto dealerships, shopping centers, commercial parking lots and general parking area lighting.

Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
AME-2-L	Type II (T2)	# of LEDs 72 (72LC)	mA 350 (3)	3000K *Warm white (3K)	120-277 *Universal voltage (UNV)	Bolt-On Arm 6" (BOA6)	Bronze (BZ)	Photocell & Receptacle <small>*Specify Voltage (PCR120) (PCR208) (PCR240) (PCR277)</small> <small>*Specify BOA or Spider Mount</small> Photo & Receptacle with shorting cap (PER) <small>*Specify BOA or Spider Mount</small> Button Type Photocell <small>*Specify Voltage (PC120) (PC208) (PC240) (PC277)</small> House Side Light Shield (LS) Round Pole Plate Adapter (RPP) 0-10v Dimming Driver No Controls (DIM) Wireless Controls Consult Factory (WS) Motion Sensor/Control Watt Stopper FSP-211 <small>8" Mounting Height Must specify Dimming Driver. *120V-277V Only</small> (WSC-8) 8" Mounting Height (WSC-20) 9-20" Mounting Height (WSC-40) 21-40" Mounting Height <small>This option will require (1) FSIR 100 remote for programming</small> Motion Sensor (MS-8) 8" Mounting Height (MS-20) 9-20" Mounting Height (MS-40) 21-40" Mounting Height
	Type III (T3)					Bolt-On Arm 10" (BOA10)	Black (BK)	
	Type IV (T4)					Knuckle Mount (KM)	Smooth Black (SBK)	
AME-4-L	Type IV-A (T4A)	224 (224LC)	530 (5)	4000K *Neutral white (4K)	480 (5)	Wall Mount *Cast Wall Plate (BAWP) to be ordered separately (WM)	White (WH)	Round Pole Plate Adaptors (RPP) are to be ordered separately.
	Type V (T5)					Spider Mount Fits 2 3/8" O.D. (SM)	Smooth White (SWH)	
	Type V-W (T5W)			5000K *Cool white (5K)	347 (8)		Graphite (GP)	
							Grey (GY)	
							Silver Metallic (SL)	
							Custom Color (CC)	

For more detailed information on mounting, wiring or installation instructions, please consult factory. If poles are not ordered with fixtures, please specify mounting requirements. This document contains proprietary information of Visionaire Lighting, LLC. Any use of this information requires the written approval of Visionaire Lighting, LLC. In keeping with our TQM policy of continuous improvement, Visionaire reserves the right to change any specifications contained herein without prior notice.



Dimensional Drawings



Fixture	A	B	C	Stripe	Max. Watts	Lbs.
AME-2-L	19"	19"	12"	2"	238 W	29
AME-4-L	23"	23"	15"	2"	373 W	68

The new American LED Luminaire from Visionaire combines contemporary design with new LED technology; while maintaining a traditional fixture image. The LEDs Performance and Life are maximized by the unique integral aluminum heat sink built into the door frame. Maintenance of the drivers is simplified by making them easily accessible and provided with quick wiring connections.

72, 144 or 224 LEDs are available in 350 or 530 mA rating providing up to 33,000 lumens. Six optical distribution patterns

are available and feature a unique Type T-4A automotive pattern for the front row of auto dealerships. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable Polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The American LED series is an exceptional choice for auto dealerships, shopping centers, commercial parking lots and general parking area lighting.

Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
AME-2-L	Type II (T2)	# of LEDs 72 (72LC)	mA 350 (3)	3000K *Warm white (3K)	120-277 *Universal voltage (UNV)	Bolt-On Arm 6" (BOA6)	Bronze (BZ)	Photocell & Receptacle <small>*Specify Voltage (PCR120) (PCR208) (PCR240) (PCR277)</small> <small>*Specify BOA or Spider Mount</small> Photo & Receptacle with shorting cap (PER) <small>*Specify BOA or Spider Mount</small> Button Type Photocell <small>*Specify Voltage (PC120) (PC208) (PC240) (PC277)</small> House Side Light Shield (LS) Round Pole Plate Adapter (RPP) 0-10v Dimming Driver No Controls (DIM) Wireless Controls Consult Factory (WS) Motion Sensor/Control Watt Stopper FSP-211 <small>8" Mounting Height Must specify Dimming Driver. *120V-277V Only</small> (WSC-8) 8" Mounting Height (WSC-20) 9-20" Mounting Height (WSC-40) 21-40" Mounting Height <small>This option will require (1) FSIR 100 remote for programming</small> Motion Sensor (MS-8) 8" Mounting Height (MS-20) 9-20" Mounting Height (MS-40) 21-40" Mounting Height
	Type III (T3)					Bolt-On Arm 10" (BOA10)	Black (BK)	
	Type IV (T4)					Knuckle Mount (KM)	Smooth Black (SBK)	
AME-4-L	Type IV-A (T4A)	224 (224LC)	530 (5)	4000K *Neutral white (4K)	480 (5)	Wall Mount *Cast Wall Plate (BAWP) to be ordered separately (WM)	White (WH)	Round Pole Plate Adaptors (RPP) are to be ordered separately.
	Type V (T5)					Spider Mount Fits 2 3/8" O.D. (SM)	Smooth White (SWH)	
	Type V-W (T5W)			5000K *Cool white (5K)	347 (8)		Graphite (GP)	
							Grey (GY)	
							Silver Metallic (SL)	
							Custom Color (CC)	

For more detailed information on mounting, wiring or installation instructions, please consult factory. If poles are not ordered with fixtures, please specify mounting requirements. This document contains proprietary information of Visionaire Lighting, LLC. Any use of this information requires the written approval of Visionaire Lighting, LLC. In keeping with our TQM policy of continuous improvement, Visionaire reserves the right to change any specifications contained herein without prior notice.



WEDGE1 LED

Architectural Wall Sconce



Catalog
Number

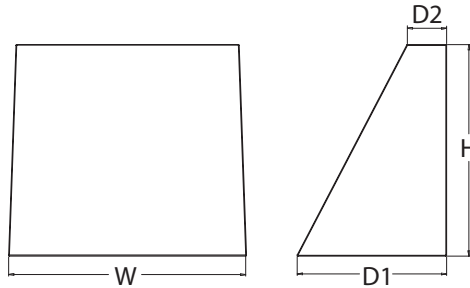
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WEDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P1	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry)
	P2	30K 3000K	90CRI	VW Visual comfort wide	347 ²	
		35K 3500K				
		40K 4000K				
		50K ¹ 5000K				

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
	DDBTXD Textured dark bronze
	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE1PBBW DDBXD U WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 © 2019-2020 Acuity Brands Lighting, Inc. All rights reserved.

WEDGE1 LED
 Rev. 11/16/20

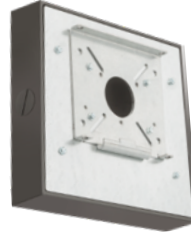


E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at:

www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

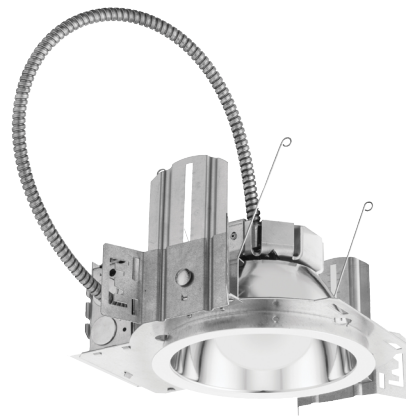
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



A+ Capable options indicated by this color background.

Catalog Number
Notes
Type



LDN6

**6" OPEN and WALLWASH LED
Non-IC
New Construction Downlight**



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6									
Series		Color temperature		Lumens ¹		Aperture/Trim Color		Finish	Voltage
LDN6 6" round		27/ 2700K		05 500 lumens	25 2500 lumens	L06 Downlight	AR Clear	LSS Semi-specular	MVOLT Multi-volt
		30/ 3000K		10 1000 lumens	30 3000 lumens	LW6 Wallwash	WR ² White	LD Matte diffuse	120 120V
		35/ 3500K		15 1500 lumens	40 4000 lumens		BR ² Black	LS Specular	277 277V
		40/ 4000K		20 2000 lumens	50 5000 lumens				347 ³ 347V
		50/ 5000K							

Driver	Options
GZ10 0-10V driver dims to 10%	SF ⁴ Single fuse
GZ1 0-10V driver dims to 1%	TRW ⁵ White painted flange
	TRBL ⁵ Black painted flange
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	EL ⁶ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELR ⁶ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELSD ⁶ Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	ELRSD ⁶ Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	E10WCP ⁶ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB
	E10WCPR ⁶ Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB
	NPP16D ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).
	NPP16DER ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.
	N80 ⁸ nLight™ Lumen Compensation
	NPS80EZ ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
	NPS80EZER ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
	HAO ¹¹ High ambient option
	CP ¹² Chicago Plenum
	RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
	NLTAIR2 ^{9,10} nLight® Air enabled
	NLTAIRER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options
	USPOM US point of manufacture
	90CRI High CRI (90+)

Accessories: Order as separate catalog number.	
PS1055CP	FMC Power Sentry battery pack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter ¹
SCA6	Sloped ceiling adapter. Refer to TECH-SCA for more options.

Notes

- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
- NLTAIR2 and NLTAIRER2 not recommended for metal ceiling installations.
- Fixture height is 6.5" for all lumen packages with HAO.
- Must specify voltage for 3000lm. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.

Exhibit 2: Project Narrative
SanTan Village Parcel A – Hard Corner Pads – Site Plan Design

SanTan Village is an existing regional shopping center located in the heart of the Town of Gilbert, Arizona, between Ray Road on the north, Pecos Road on the south, AZ Loop 202 on the east and both sides of San tan Village Parkway on the west.

This submittal consists of plans for three new buildings at the NWC of Williams Field Road and SanTan Village Parkway within the Living Spaces Shopping Center. The name of this center is The Stand at SanTan Village.

The three new buildings will be joining, Living Spaces, Firebirds, Flower Child and North Italia. The three additional retail buildings will house restaurants and other retail uses on approximately 3.9 net acres. The new buildings will utilize existing ingress and egress driveways connected to Williams Field Road and SanTan Village Parkway, including the signalized entrance to the north.

The improvement plans submitted with this application match the existing landscaping, hardscaping, and signage features approved for the SanTan Village Development. The design of the three buildings will continue to enhance the strong project character that exists within SanTan Village while also creating distinctive brands for the individual retail uses. The plans are in Compliance with the Crossroads PAD development guidelines.

We look forward to our continued working relationship with the Town of Gilbert and continued smart growth within the SanTan Village Master Plan.